

Regional Housing Network Meeting

December 11, 2025

***New! Best Practices Residential Zoning Code Guide to
Address the Dane County Housing Crisis***

New! 2050 Dane County Population Projections



BEST PRACTICES RESIDENTIAL ZONING CODE GUIDE TO ADDRESS THE DANE COUNTY HOUSING CRISIS

LET'S START WITH THE BASICS!

Regional Housing Strategy Webinar 12.11.25

Sonja Kruesel, AICP - Vandewalle & Associates



What is the Best Practices Guide?

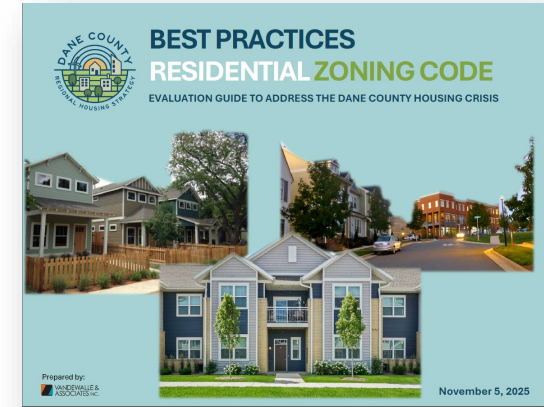
Best Practices Guide: Main Elements

Part 1: Zoning Evaluation Checklist

Part 2: Model Districts, Definitions, and Guidelines

Part 3: Guide to Streamlining Housing Approvals

- Collection of best practices in residential zoning
- Focused on housing affordability and supply
- *Includes: Evaluation workbook for practitioners and partners*



Advisory Committee:

Cottage Grove

McFarland

Dane County

Sun Prairie

Deforest

Stoughton

Fitchburg

Waunakee

Madison Area Builders
Association

Windsor

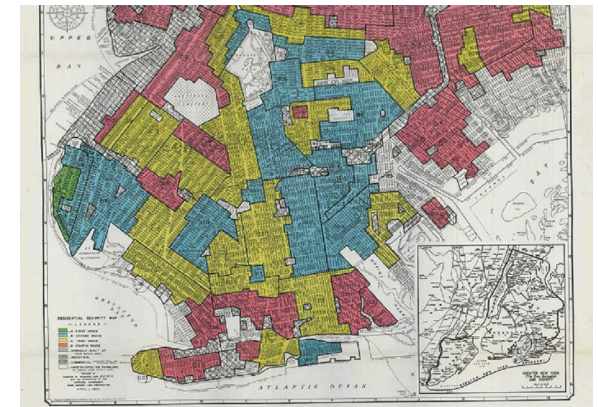
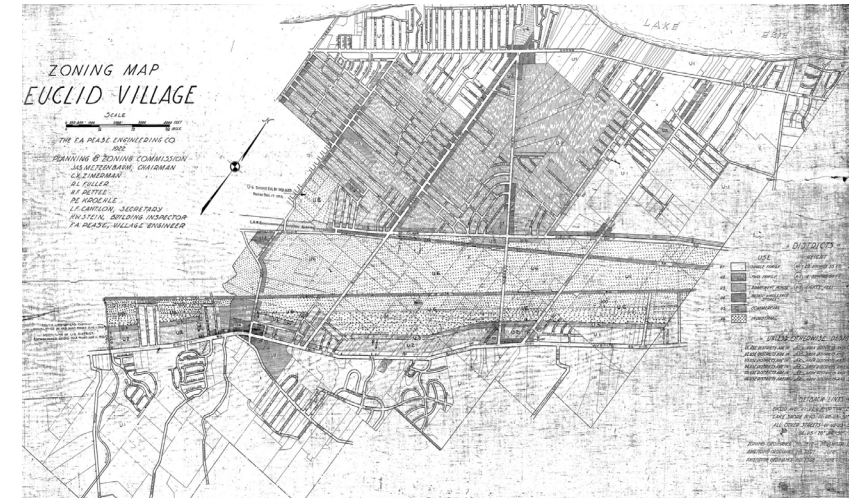
Who should use this?

- Local zoning staff
- Residents and community members
- Municipal decision makers



Changes in the Housing Market & Zoning's Role

- Demographics, housing preferences have changed...
- Land, construction costs have outpaced wage growth...
- Housing production has lagged demand...
- Zoning hasn't kept up
 - Many reflect a 100+ years old system that ***historically facilitated racial and economic segregation***
 - Many protect large lot single family as primary housing type (i.e. expensive to build and buy)



Part 1: Evaluation Checklist

Where to start?

1

Evaluation Checklist

- A tool to help municipalities identify and evaluate code updates
- Focuses on *housing regulations*
- Scope of Work prioritized updating residential zoning codes to:
 - *Diversify housing stock* of in demand housing types
 - *Increase the supply* of overall housing
 - Create more *affordable housing* options

Checklist Topics

1. Dimensions
2. Density
3. Land Use
4. Parking
5. Approval Processes
6. Non-Zoning Guidelines

Evaluation Checklist – Example 1

1.1: Dimensional Requirements

Evaluation Checklist:

	Zoning Requirement	Yes	No	Existing Code Notes (for Community Use)	Zoning Best Practice	Housing Affordability Impact
1	<u>Minimum Lot Size.</u> Does your zoning code allow lot sizes less than 10,000sf?	<input type="checkbox"/>	<input type="checkbox"/>		Increase options for smaller lot zoning and limit the use of new large lot zoning. Include single-family lots with minimums less than 10,000sf.	Larger lots cost more than smaller lots. Larger lots also require longer driveways, road frontage, sewer, sidewalk, etc. which lot owners must pay for.
2	<u>Minimum Lot Size.</u> Does your zoning code allow residential lot sizes between 5,000sf-7,500sf?	<input type="checkbox"/>	<input type="checkbox"/>		Best practices recommend lot sizes ranging from 5,000sf-7,500sf for street-loaded single-family. Reduce other dimensions like setbacks based on the lot size.	See above.
3	<u>Minimum Lot Size.</u> Does your zoning code allow a residential lot size of 3,000sf?	<input type="checkbox"/>	<input type="checkbox"/>		3,000 sf lots work well for alley-loaded development because they avoid “snout houses” (thrust garages) and allow for houses with no garages or driveways.	See above.

TOTAL VALUE:
\$3.3M

THE HOUSING WE HAVE



TOTAL VALUE:
\$5.3M

THE HOUSING WE NEED

URBAN3



Evaluation Checklist – Example 2



1.3: Land Use Requirements

	Zoning Requirement	Yes	No	Existing Code Notes (for Community Use)	Zoning Best Practice	Housing Affordability Impact
3	<u>Accessory Dwelling Unit (ADU)</u> . Does your zoning code allow ADUs by-right?	<input type="checkbox"/>	<input type="checkbox"/>		Enable attached or detached ADUs as a permitted use by-right in all residential districts. Allow either the ADU or principal structure to be owner-occupied. Allow square foot maximums ranging from 750-1,000sf. Do not require additional parking minimums for the accessory unit.	ADUs can create additional income for the principal owner to offset housing costs or allow for aging in place. Financing is difficult to obtain for conditional use ADUs making them more expensive and a lot less likely to occur vs. ADUs permitted by right.
4	<u>Two-Family Format Housing</u> . Does your code allow multiple formats including side-by-side, stacked, front-back, and zero lot line?	<input type="checkbox"/>	<input type="checkbox"/>		Restrictive codes only allow for a side-by-side duplex. Code should also allow stacked, front-back, and zero-lot line configurations.	Restricting two-family formats to only one version is overly restrictive and depresses housing supply.

Using the Checklist: Evaluate & Communicate

- Start a conversation in your community!
 - What are the housing challenges your community is facing?
 - How is current code working, not working?
 - What part of the code is creating the biggest obstacles to your preferred housing types?
 - What actions should be prioritized?
 - What model language should we consider?

*Checklist also available as
Excel workbook*

Key Zoning Updates

- Allow for a variety of housing types
- Reduce minimum lot sizes and setback requirements
- Increase the number of permitted dwelling units by acre
- Reduce parking requirements
- Allow multi-unit housing by right

Part 2: Model Districts and Guidelines

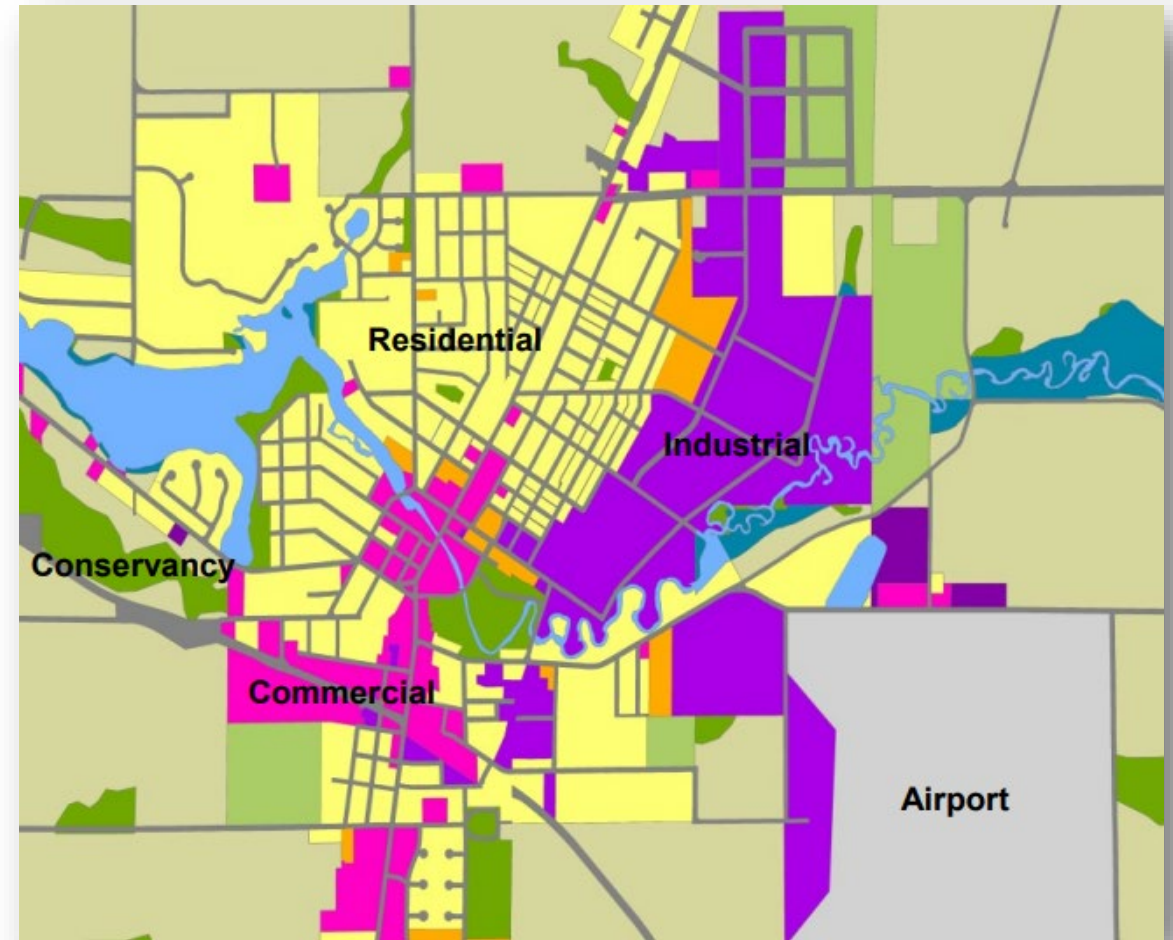
What are they and how do you use them?

What is a Zoning District?

Part One

Zoning Map:

*Divides the Community into
Districts based on Land Use*



What is a Zoning District?

Part Two

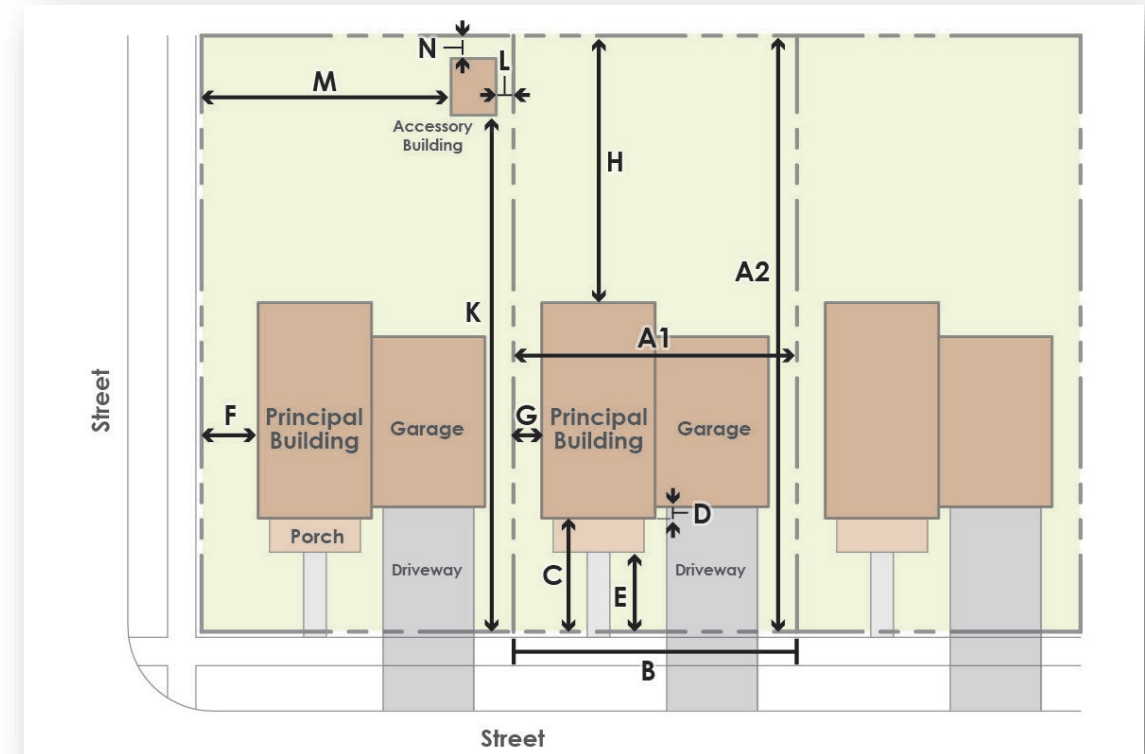
Zoning Text: Provides Rules for Lot Development

SECTION 84.30 (SR-5) Single Family Residential – 5 Zoning District.

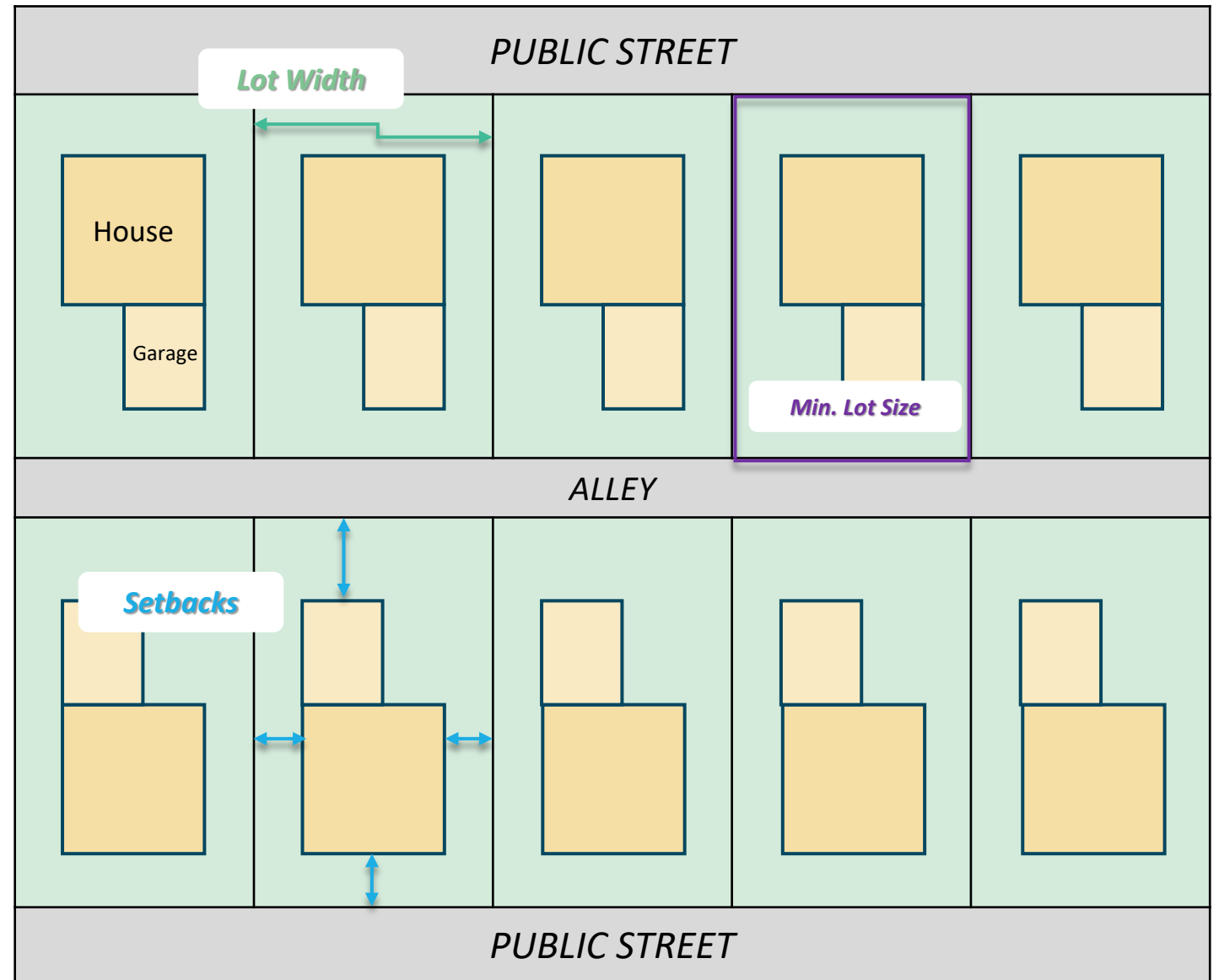
- (a) **Intent.** This district intends to create, preserve, and enhance areas for moderate density single family detached dwellings at an approximate density of 5 dwelling units per acre.
- (b) **Principal Uses Permitted by Right.** Refer to Article III for detailed definitions and requirements for each of the following land uses.
- (1) Single Family

Density, Intensity, and Bulk Regulations for the (SR-5) Single Family Residential – 5 District.

	Residential Uses	Nonresidential Uses
Minimum Lot Area	7,200 square feet	9,000 square feet
Maximum Density	5 dwelling units per acre	N/A
Minimum Lot Frontage	50 feet	50 feet
Maximum Building Coverage of Lot	50 percent	50 percent
Minimum Landscape Surface Ratio	35 percent	35 percent
Minimum Lot Width	60 feet	80 feet
Minimum Front Setback	25 feet	25 feet
Minimum Street Side Setback	25 feet	25 feet
Minimum Side Setback	7 feet	15 feet
Minimum Rear Setback	25 feet	30 feet
Maximum Principal Building Height	35 feet	35 feet
Minimum Principal Building Separation (multi-structure developments on shared lots)	14 feet	30 feet
Minimum Pavement Setback (lot line to pavement; excludes driveway entrances)	5 feet from side, or 0 feet for shared driveway; 10 feet from right of way or rear	5 feet from side, or 0 feet for shared driveway; 10 feet from right of way or rear
Minimum Parking Required	See Article III	See Article III
Minimum Garage Door Setback to Alley (if applicable)	8 feet for doors parallel to alley; 3 feet for door perpendicular to alley	8 feet for doors parallel to alley; 3 feet for door perpendicular to alley
Accessory Building Side Setback	10 feet	10 feet
Accessory Building Rear Setback	10 feet	10 feet
Maximum Accessory Building Height	Lesser of 15 feet or principal building height	20 feet



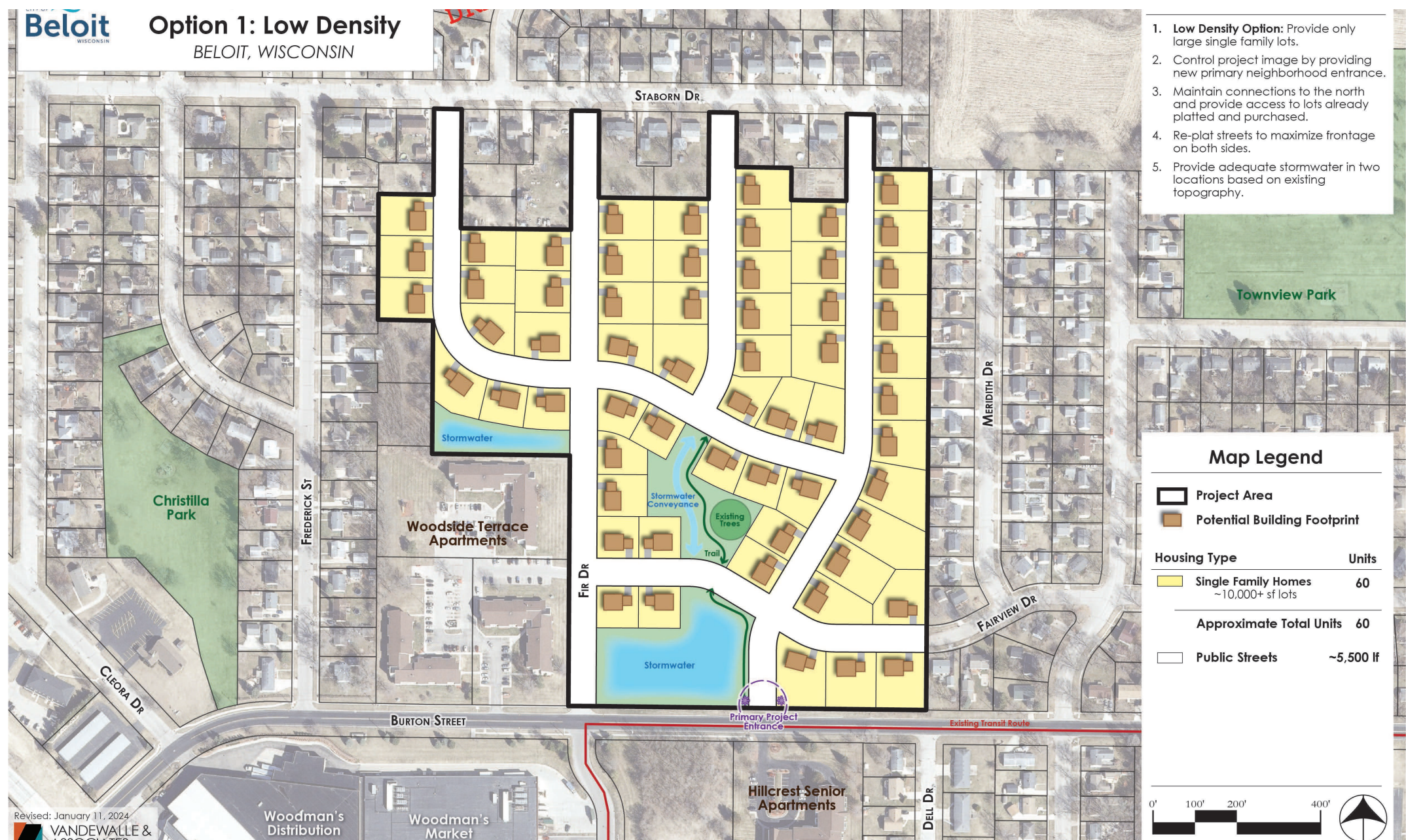
Zoning dictates
the form of the
built environment
and available
housing options



Option 1: Low Density

BELOIT, WISCONSIN

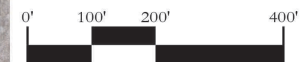
1. **Low Density Option:** Provide only large single family lots.
2. Control project image by providing new primary neighborhood entrance.
3. Maintain connections to the north and provide access to lots already platted and purchased.
4. Re-plat streets to maximize frontage on both sides.
5. Provide adequate stormwater in two locations based on existing topography.



Map Legend

- Project Area
- Potential Building Footprint

Housing Type	Units
Single Family Homes ~10,000+ sf lots	60
Approximate Total Units 60	
Public Streets	~5,500 lf



Revised: January 11, 2024

VANDEWALLE & ASSOCIATES INC.

- Medium Density Option:** Provide a mix of two family and smaller single family lots similar in size to adjacent homes. Use two family to transitions along existing multi family and Burton.
- Control project image by providing new primary neighborhood entrance.
- Maintain connections to the north and provide access to lots already platted and purchased.
- Re-plat streets to maximize frontage on both sides.
- Provide adequate stormwater in two locations based on existing topography.

Map Legend

Project Area
 Potential Building Footprint

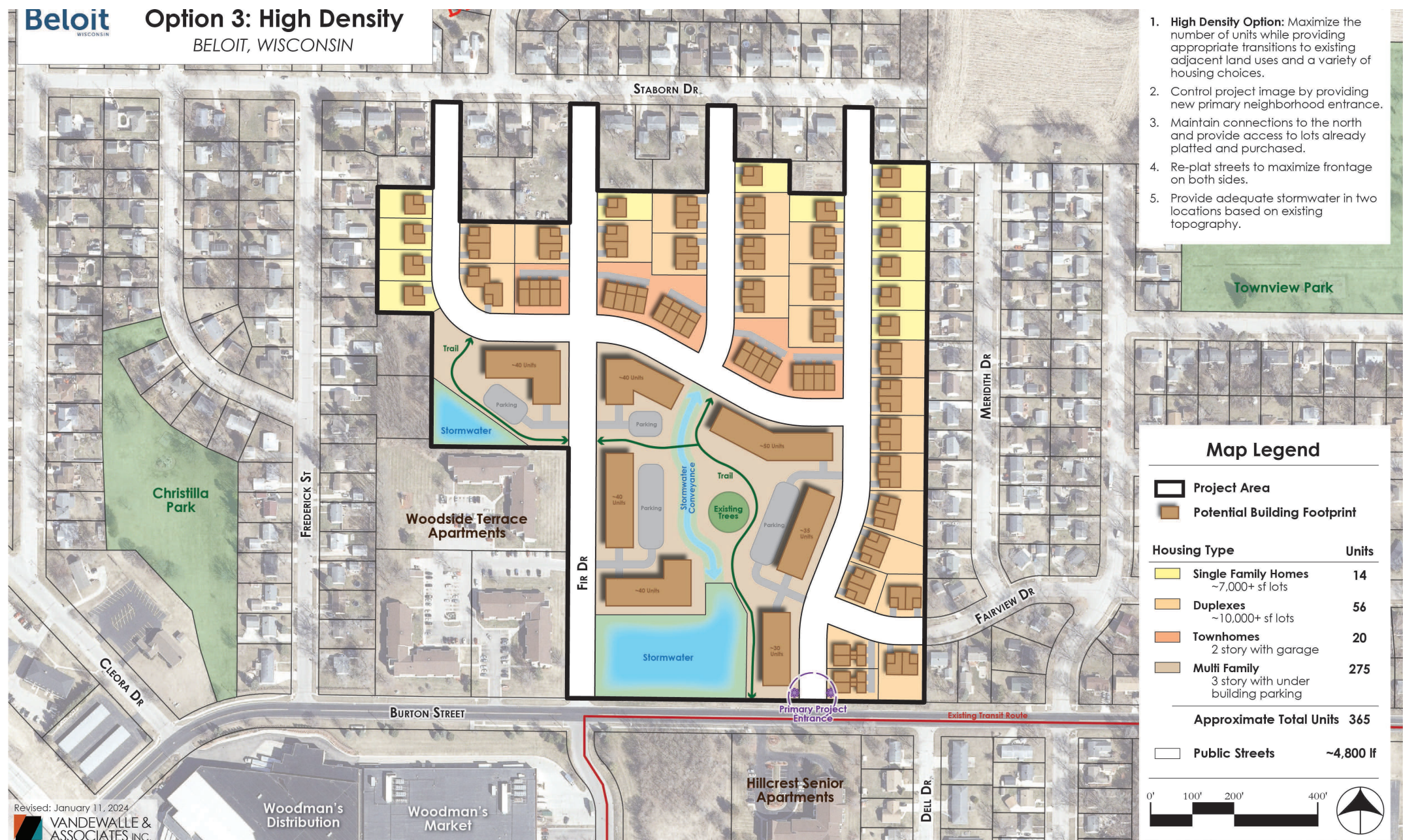
Housing Type	Units
Single Family Homes ~7,000+ sf lots	50
Duplexes ~10,000+ sf lots	50
Approximate Total Units 100	
Public Streets	~5,500 lf

0'

100'

200'

400'



1. **High Density Option:** Maximize the number of units while providing appropriate transitions to existing adjacent land uses and a variety of housing choices.
2. Control project image by providing new primary neighborhood entrance.
3. Maintain connections to the north and provide access to lots already platted and purchased.
4. Re-plat streets to maximize frontage on both sides.
5. Provide adequate stormwater in two locations based on existing topography.

Map Legend

- Project Area
- Potential Building Footprint

Housing Type	Units
Single Family Homes ~7,000+ sf lots	14
Duplexes ~10,000+ sf lots	56
Townhomes 2 story with garage	20
Multi Family 3 story with under building parking	275

Approximate Total Units 365

Public Streets ~4,800 lf



2

Model Districts

Model Districts

District A: Pocket Neighborhood

District B: Small Lot Alley-Loaded

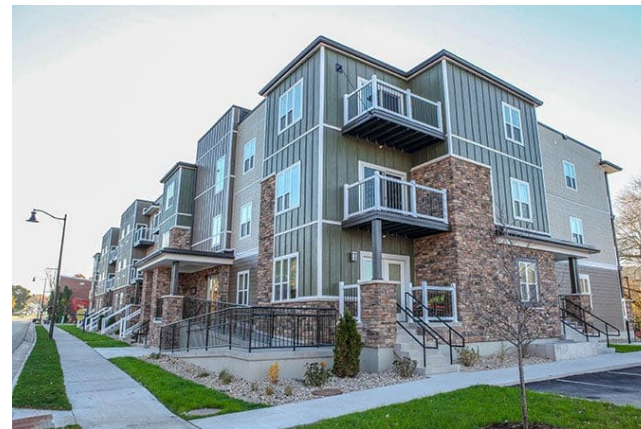
District C: Small Lot Front-Loaded

District D: Medium Lot Residential

District E: Mixed Middle

District F: Medium Multi-Family Residential

District G: Medium-High Multi-Family Residential



Why different districts?

- Neighborhoods ideally have variety of districts to avoid singular (segregated) housing types
- Allow for different housing scales (higher density on major corridor)
- Communities can mix and match
- Communities can adjust dimensions from the model



District Example

Feasible
Dimensions

Image Example

District B: Small Lot Alley-Loaded

Purpose Statement: This district is intended to create, preserve, and enhance areas for single family detached dwellings. This district is designed for alley-loaded homes.

Density, Intensity, and Bulk Regulations:

	Principal Buildings:	Requirement
A1xA2	Minimum Lot Area	3,000 square feet
	Maximum Impervious Surface Ratio	90 percent
A1	Minimum Lot Width	30 feet
A2	Minimum Lot Depth	100 feet
B	Minimum Lot Frontage at Right-of-Way	30 feet
C	Front Setback	Minimum: 15 feet, Maximum: 20 feet
D	Minimum Front-Loaded Attached Garage Setback	n/a
E	Minimum Porch Setback (on front and street side yard)	10 feet
F	Minimum Street Side Setback (on corner lots)	10 feet
G	Minimum Side Setback	5 feet
H	Minimum Rear Setback	2-4 feet*
	Maximum Principal Building Height	35 feet
J	Minimum Pavement Setback (lot line to pavement, excludes driveway entrances)	2 feet on side and rear yards 10 feet from any street right-of-way

Accessory Buildings:
(K) Minimum Front Setback (even with or behind the principal structure); (L) Minimum side setback (2 feet); (M) Minimum Side Setback (on corner (even with or behind the principal structure); (N) Minimum rear setback (3 feet); Maximum Height (22 feet).

**Note: This district is designed to allow alleys in the rear of the lot. The minimum garage door setback to the rear lot line should be 2 feet.*

District Image Example



District Setback Diagram



Scaled
Dimension
Diagram

District E: Mixed Middle

***Single zoning district
with different
standards for different
housing types***

***Flexible option for more
distributed housing variety
(complete neighborhood)
Easier implementation***

District E: Mixed Middle

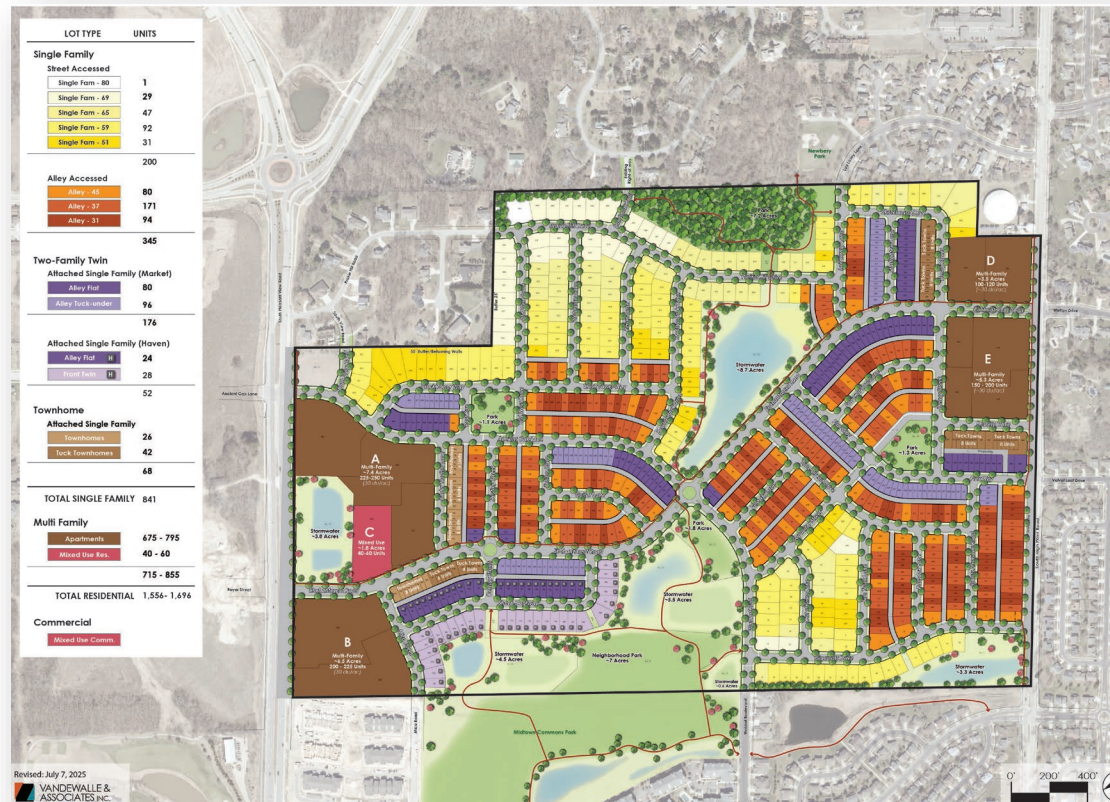
Purpose Statement: This district is established to encourage the development of new traditional neighborhoods that incorporate the characteristics of existing traditional neighborhoods. Features include a variety of lot sizes and integrated housing types, detached or alley-loaded garages, traditional architectural features such as porches, an interconnected street system and the creation of a high-quality public realm.

Density, Intensity, and Bulk Regulations:

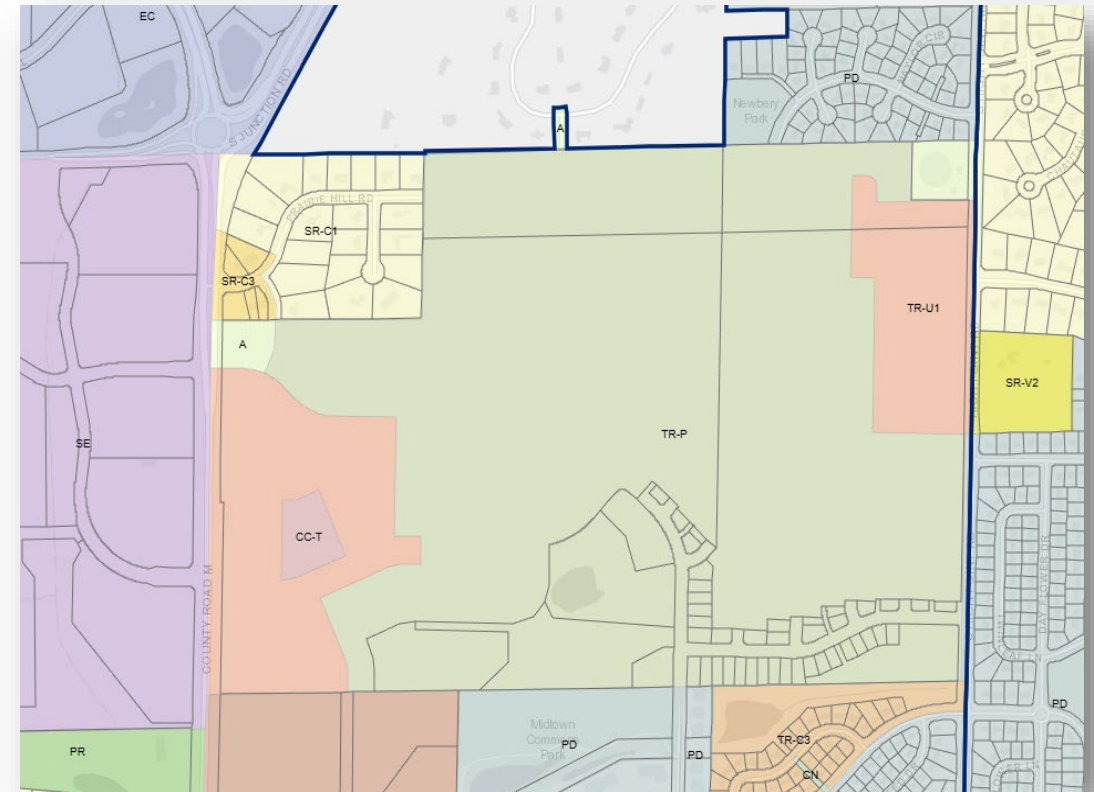
	Principal Buildings:	Single-Family Detached	Single-Family Attached (Townhome)	Two-Family (2 Unit)	Two-Family (Twin)	Single-Family ADU	Multi-Family (Except Resi. Building Complex)
A1xA2	Minimum Lot Area (Sq. Ft.)	2,900	2,000/du	2,500/du	1,800/du	5,000 (per lot)	600/du + 300/bedroom >2
	Maximum Impervious Surface Ratio	75%	90%	75%	75%	80% (per lot)	75%
A1	Minimum Lot Width (Ft.)	30	20	40	25/du	50	50
B	Minimum Front Setback (Ft.)	15	15	15	15	n/a	15
C	Maximum Front Setback (Ft.)	30 or up to 20% greater than block average	30 or up to 20% greater than block average	30 or up to 20% greater than block average	30 or up to 20% greater than block average	30 or up to 20% greater than block average	30 or up to 20% greater than block average
D	Minimum Street Side Setback (on corner lots) (Ft.)	Principal: 8 Garage: 10	Principal: 8 Garage: 10	Principal: 8 Garage: 10	Principal: 8 Garage: 10	Principal: 8 Garage: 10	Principal: 12 Garage: 10
E	Minimum Side Setback (Ft.)	5	Exterior End Walls: 6	5	5	5	10
F	Minimum Rear Setback (Ft.)	Street: 20 Alley: 2	Street: 20 Alley: 2	Street: 20 Alley: 2	Street: 20 Alley: 2	Street: 20 Alley: 2	Street: 20 Alley: 2
G	Maximum Principal Building Height (Ft.)	3 Stories or 35'	3 Stories or 40'	3 Stories or 35'	3 Stories or 35'	2 Stories, no greater than height of principal structure	4 Stories or 52'

Applying a “Mixed Middle” District

Variety of Housing Types



Single Zoning District



Model Regulations

- Model text also provides guidelines on land uses allowed in each district
- Older zoning has more restrictive segregated uses while the model provides more housing types in each district

Permitted Land Uses		Model Residential Zoning Districts						
		A: Pocket Neighborhood	B: Small Lot Alley-Loaded	C: Small Lot Front-Loaded	D: Medium Lot	E: Mixed Middle	F: Medium Multi-Family	G: Medium-High Multi-Family
Land Uses (See Definitions in Section 2.7)	Single Family (Detached)	✓	✓	✓	✓	✓		
	Two-Flats (Stacked)	✓	✓	✓	✓	✓		
	Duplex (Side by Side)				✓	✓	✓	✓
	Twin Home (Zero Lot Line)	✓	✓	✓	✓	✓	✓	✓
	Townhome (2+ Attached)	✓			✓	✓	✓	✓
	Multiplex (3+ Individual Entry)					✓	✓	✓
	Apartments (3+ Common Entry)					✓	✓	✓
	Nonresidential							
	Accessory Dwelling Units		✓	✓	✓	✓	✓	✓



What is a Pocket Neighborhood? (Cottage Court)

- Provides option smaller lots often organized around a common greenspace
- Provides option for smaller housing, unique lot configurations
- Preserves surrounding context, quality living environment
- Provides different ownership options (condo vs. fee simple)
- Model language is a starting point for communities
 - May adjust regulations like common area size, house size maximums, minimum or maximum lot size, etc.

District A: Pocket Neighborhood

Purpose Statement: Pocket Neighborhoods are comprised of small residential buildings that may be made of detached, attached, or townhouse units. Units shall face a common open space. A Pocket Neighborhood may be developed on individual lots or with a common form of ownership. This district is intended to promote infill development and redevelopment within established neighborhoods or to create new developments that are built at a scale and character consistent with surrounding development patterns. (See Section 2.6 for additional requirements).

Density, Intensity, and Bulk Regulations:

Principal Buildings:		Requirement
Minimum Lot Area		None
Maximum Impervious Surface Ratio		65 percent district-wide 90 percent individual lots
Minimum Lot Width		None
Minimum Lot Depth		None
Minimum Lot Frontage at Right-of-Way*		30 feet
Minimum Principal Building Setbacks – District Periphery		10 feet
Minimum Interior Side Yard Setbacks		5 feet
Minimum Principal Building Separation		10 feet or 0 Lot Line
Minimum Porch Depth		6 feet
Maximum Principal Building Height		35 feet
Minimum Pavement Setback (lot line to pavement, excludes driveway entrances)		2 feet on side and rear yards 10 feet from any street right-of-way
Dwelling Unit Size		800 sf – 1,200 sf
Accessory Buildings: **		
Minimum Accessory Building Setbacks (all lot lines)		3 feet
Maximum Height		22 feet

* All lots must front on a public street for 30', or, when enabled by the subdivision code, lots may front on a common green where such common green fronts on a public street for at least 30' and where such lots have rear access to a public alleyway meeting fire lane requirements. **Accessory buildings on individual lots are limited to detached garages. Accessory buildings in common areas may include shared garages, gazebos, shelters, clubhouses, and maintenance sheds. Such common area structures may be located on a lot without a principal structure.

District Image Example



District Impact:

Pocket neighborhoods allow for much needed smaller, less expensive single-family housing and offer first time homebuyers, seniors, and young families options to stay or re-locate in their community. They also consume less land and are flexible in shape and size, a great use of infill development, or as part of a planned development.

2.7: Best Practices Pocket Neighborhood Text

Pocket Neighborhood: Pocket Neighborhoods are comprised of small residential buildings that may be made of detached, attached, or townhouse units. Units shall face a common open space. A Pocket Neighborhood may be developed on individual lots or with a common form of ownership. This district is intended to promote infill development and redevelopment within established neighborhoods or to create new developments that are built at a scale and character consistent with surrounding development patterns.

- (1) A Pocket Neighborhood must contain a common open space that is centrally located. Each dwelling unit have access to the common open space. A minimum size for the common open space is not prescribed, however the overall site development must provide a maximum of 65% impervious surface. The common open space may not be used as a stormwater facility.
- (2) Each unit shall contain a porch with a minimum depth of six feet.
- (3) Attached or detached garages on individual lots may face private access lanes but may not face a public street or the common open space. In cases of corner lots or double frontage lots, some garage facades may be allowed if the developer demonstrates that the condition is minimized to the extent practicable given the available lot configuration. Accessory structures other than detached garages on individual lots are prohibited.
- (4) A Pocket Neighborhood must meet fire access requirements including a 20' wide all weather paved surface to access all dwelling units.
- (5) A Pocket Neighborhood may be developed as a condominium or with individual fee-simple lots. All lots must meet subdivision requirements for frontage on a public street. When enabled by the subdivision code, lots may front on a common green where such common green fronts on a public street for at least 30' and where such lots have rear access to a public alleyway meeting fire lane requirements.
- (6) Minimum required parking: One space per dwelling unit. Parking spaces may be located in attached or detached garages, or in common surface parking areas or shared garages.



Part 3: Streamlining Permitting Processes

3

Guide to Streamlining Housing Approvals

Why improve permitting processes?

- Zoning code language can still be inaccessible even if it reflects best practices
- Organizing development review influences the “time” component of development
- Improvements can be more transparent for the public and development community

Case Studies & Strategies

1. Development Review Guides
2. Minimizing Use of PUD
3. Development Review Team
4. Third Party Approvals

Case Studies & Strategies

1. Development Review Guides

- Simpler terms
- Flow charts
- Lists
- Visual guides
- Print outs

***Example:
Fitchburg & Monona***

2. Minimizing Use of PUD

- Replace unpredictable negotiations with standard districts
- Reflect developments you've already been approving

Example: Middleton

3. Development Review Team

- Streamline the process – coordinate regular meetings
- Establish the right team
- Leverage technology
- Promote quality and consistency
- Save time!

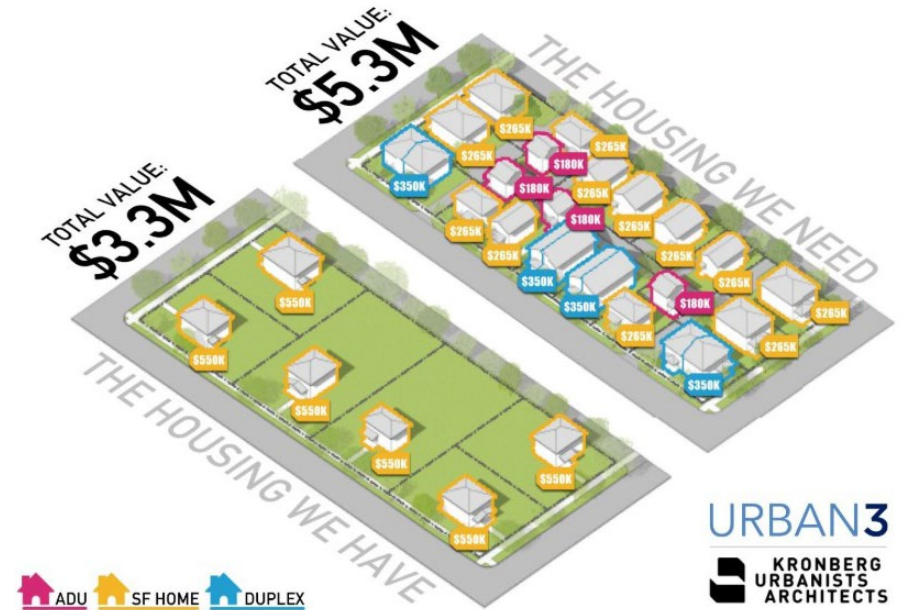
4. Third Party Approvals

- Potential cost savings for limited services
- Efficiency
- Intermittent services
- Topic specific services

The Role of Zoning in Housing Cost and Supply

Zoning regulations can directly relate to **how much you pay** for a home
type, size density, location...

And how much housing development generates in **local tax revenue**



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KRONBERG
URBANISTS
ARCHITECTS

The Role of Zoning in Housing Cost and Supply

local government controls zoning

This guide is a tool for municipal staff to evaluate their existing code...

...and a communication tool for residents, plan commission members, and elected officials to engage in the process

Next Steps:

- Use the Guide to start a conversation in your community
- Share it with your Plan Commission, Housing Committee, and Elected Officials
- Share the RHS Zoning 101 Fact Sheet
- Contact us with questions
- Present guide to local Plan Commissions or invite us for a presentation!

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Olivia Parry - parry.olivia@danecounty.gov

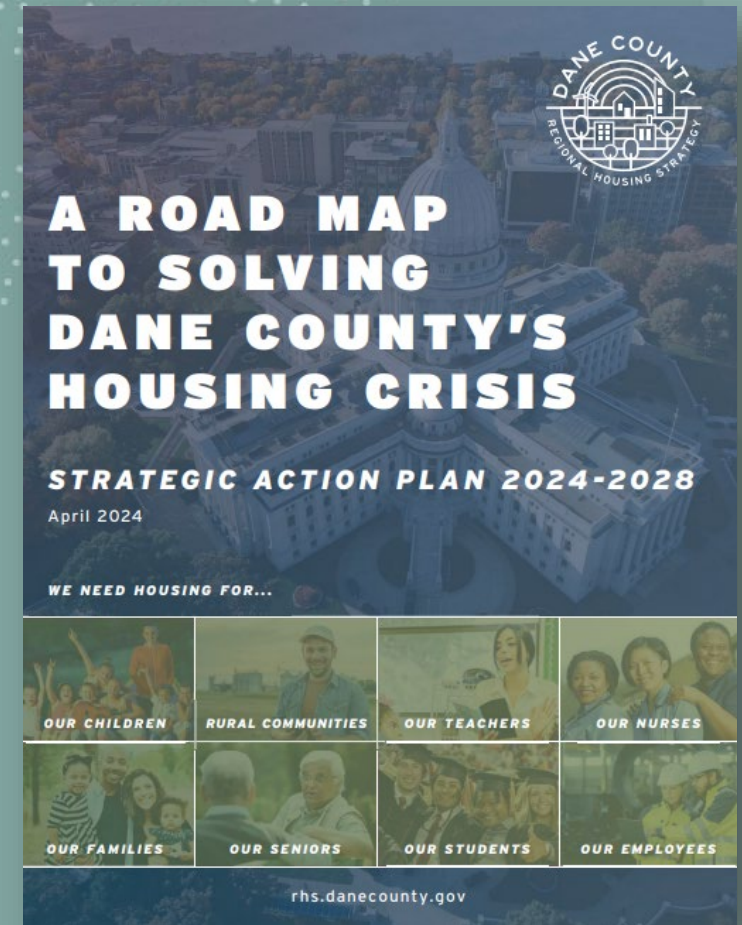
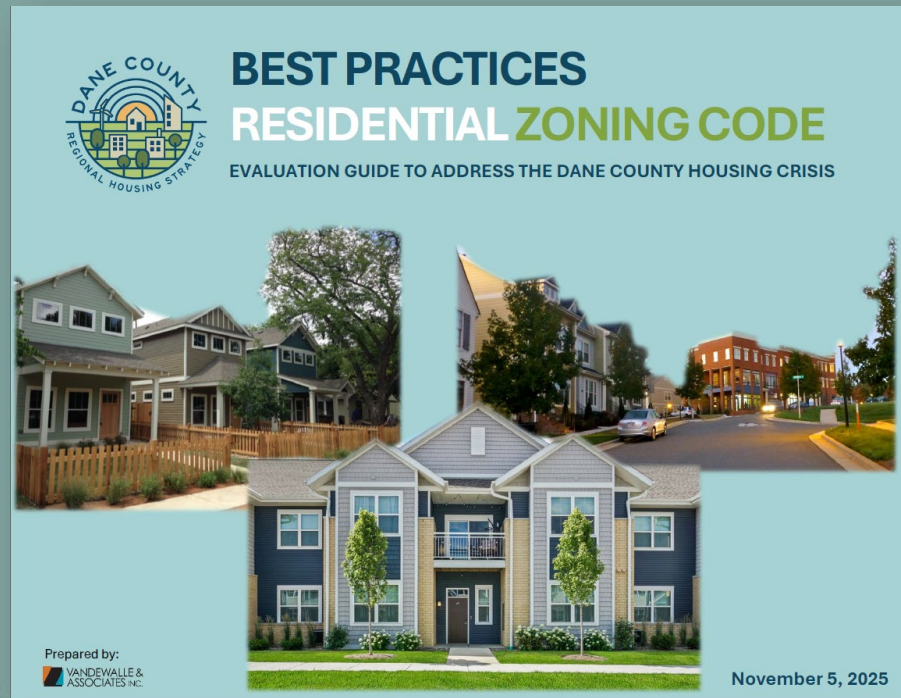
[Link to Best Practices Residential Zoning Code Guide HERE](#)

[Link to Zoning 101 Fact Sheet HERE](#)

or visit: [Dane County Regional Housing Strategy](#)

Thank you!

Questions?





Regional Population Projections

2020 – 2050

Presentation to Regional Housing Network

December 11, 2025

Sean Higgins

Senior Planner

Capital Area Regional Planning Commission



Olivia Parry

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Dane County Planning and Development





**Who is the
Regional Data
Group?**



Planners Who Work with Demographic, Housing, and Economic Data Regularly



Establishing Consensus on Projections that...

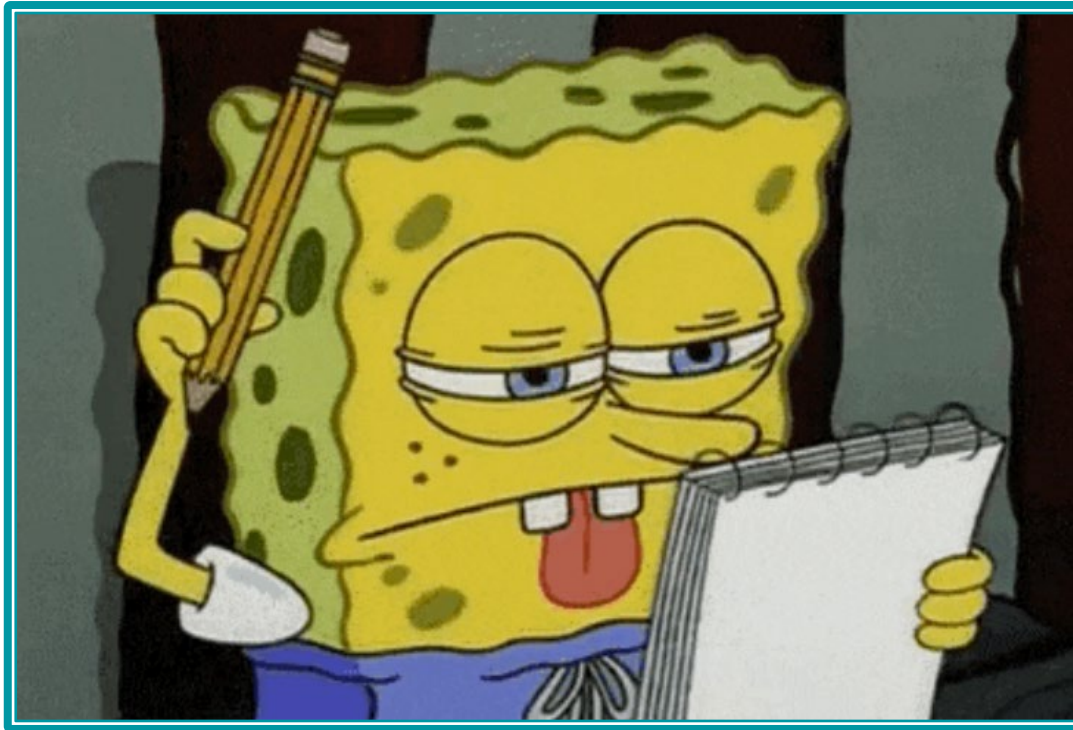
- ARE ACCURATE
- COME FROM A CREDIBLE SOURCE
- SUPPORTS LOCAL PLANNING EFFORTS



Not Projections that...

- REPLACE THE DOA'S
- FUFILL STATUTORY OBLIGATION TO USE CERTAIN PROJECTIONS



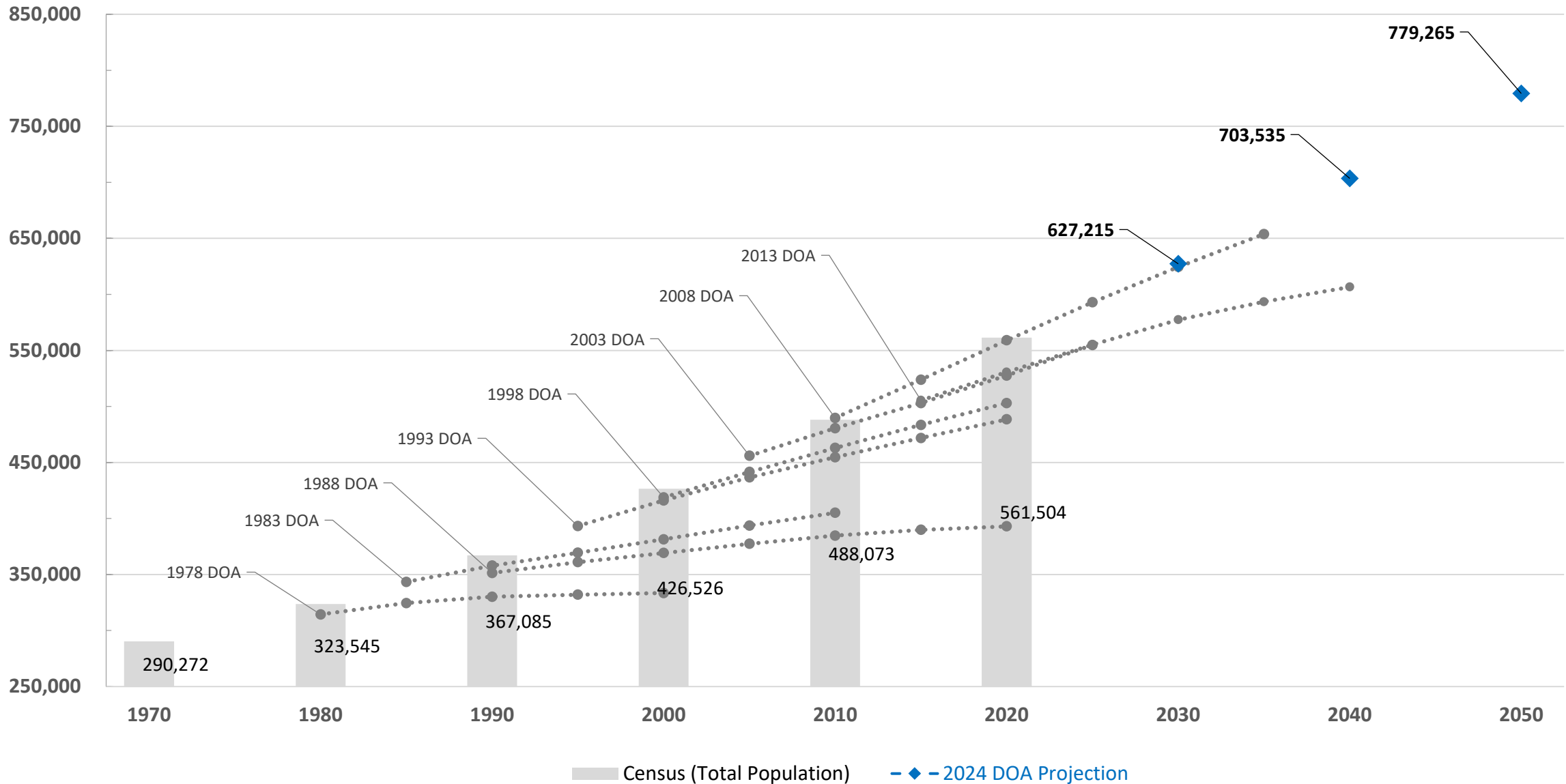


Why Did We Produce These Projections?

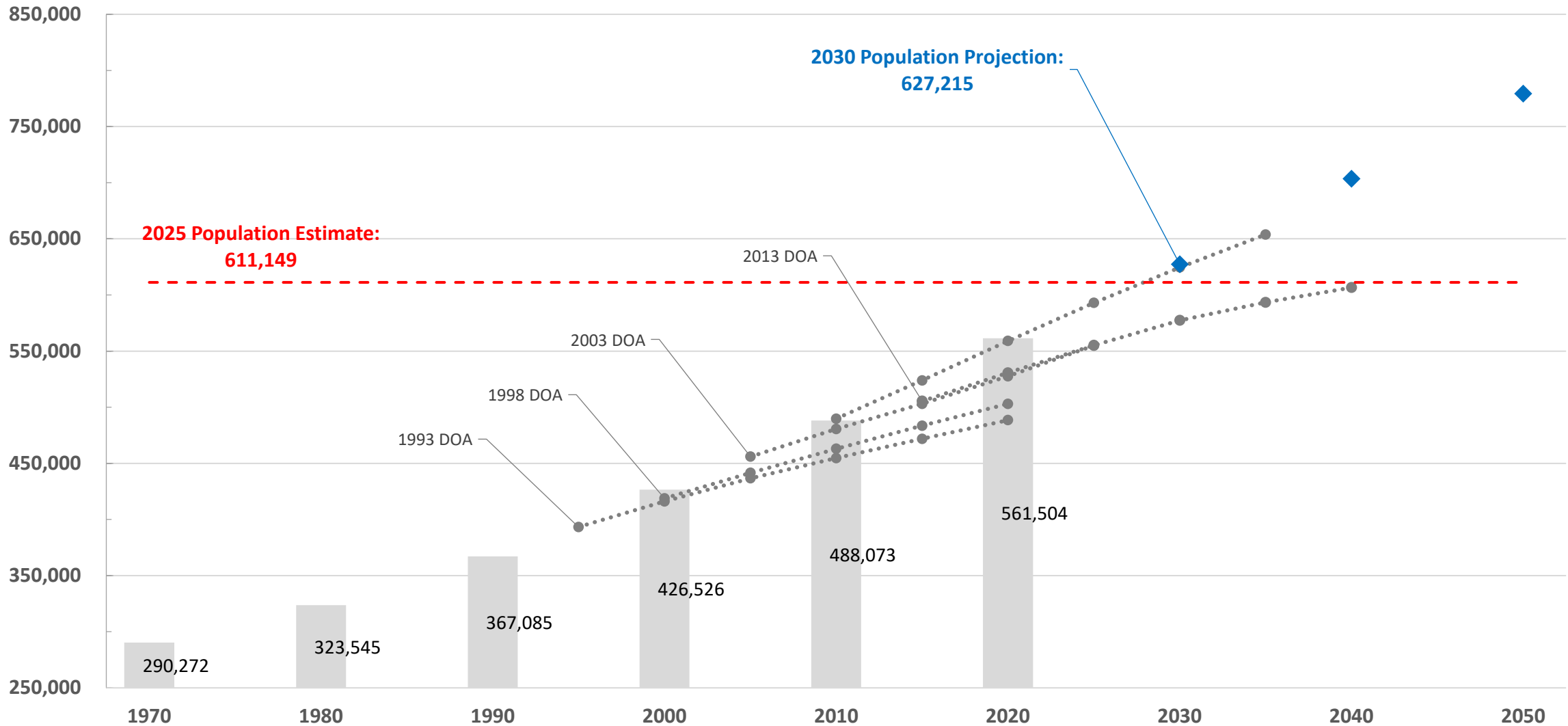


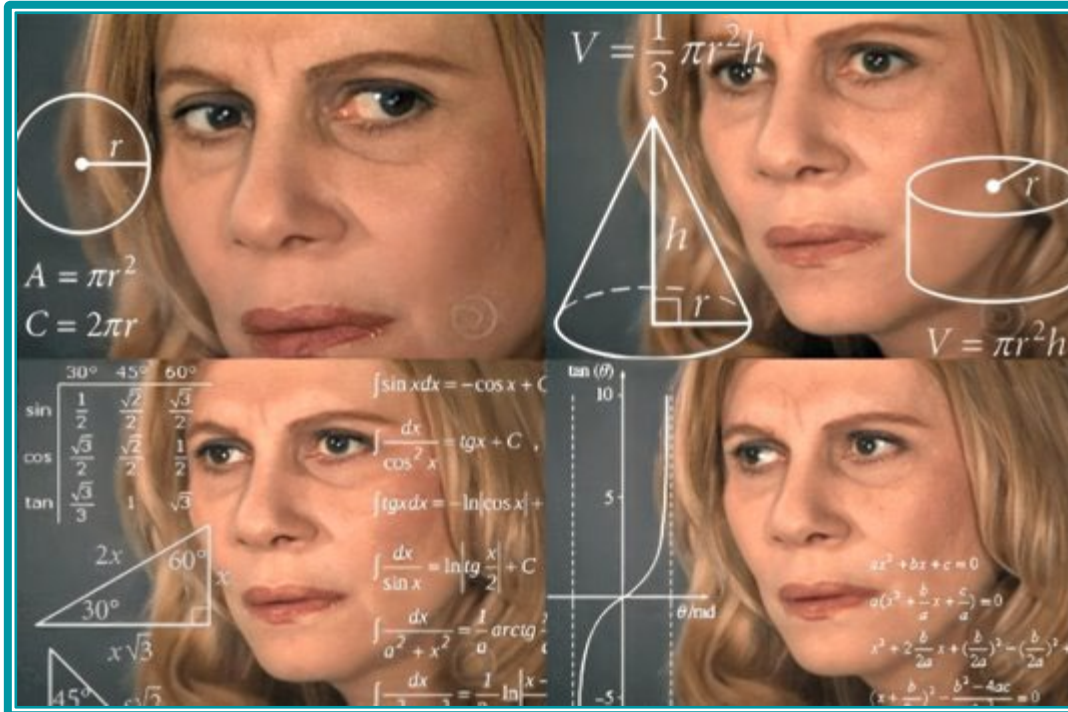
Counts

2024 DOA Population Projection



2025 DOA Population Estimate





What Was the Methodology?



What Best Describes the Long-term Trend in Dane County?

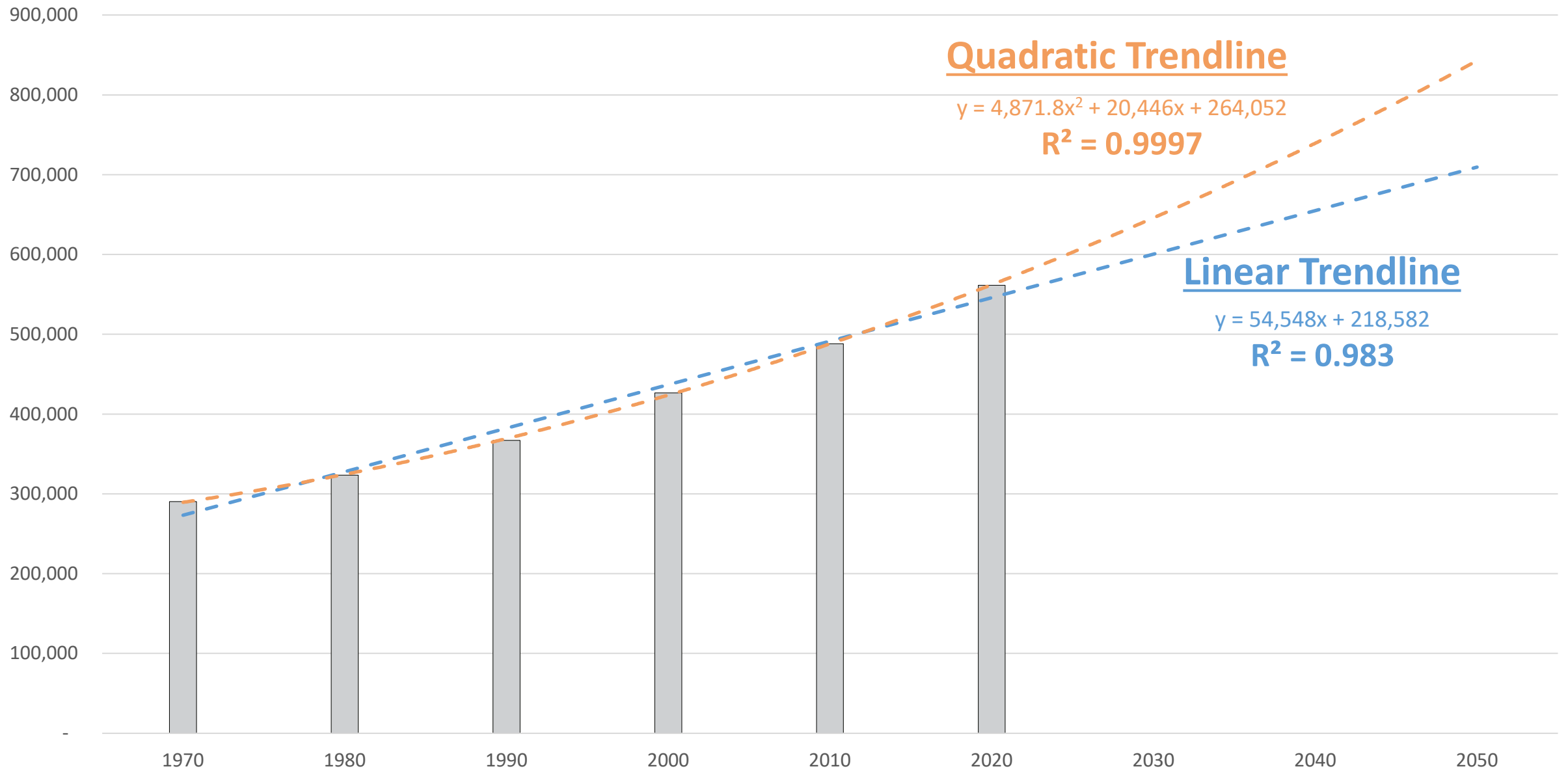
Percent
of Total?

CAGR?

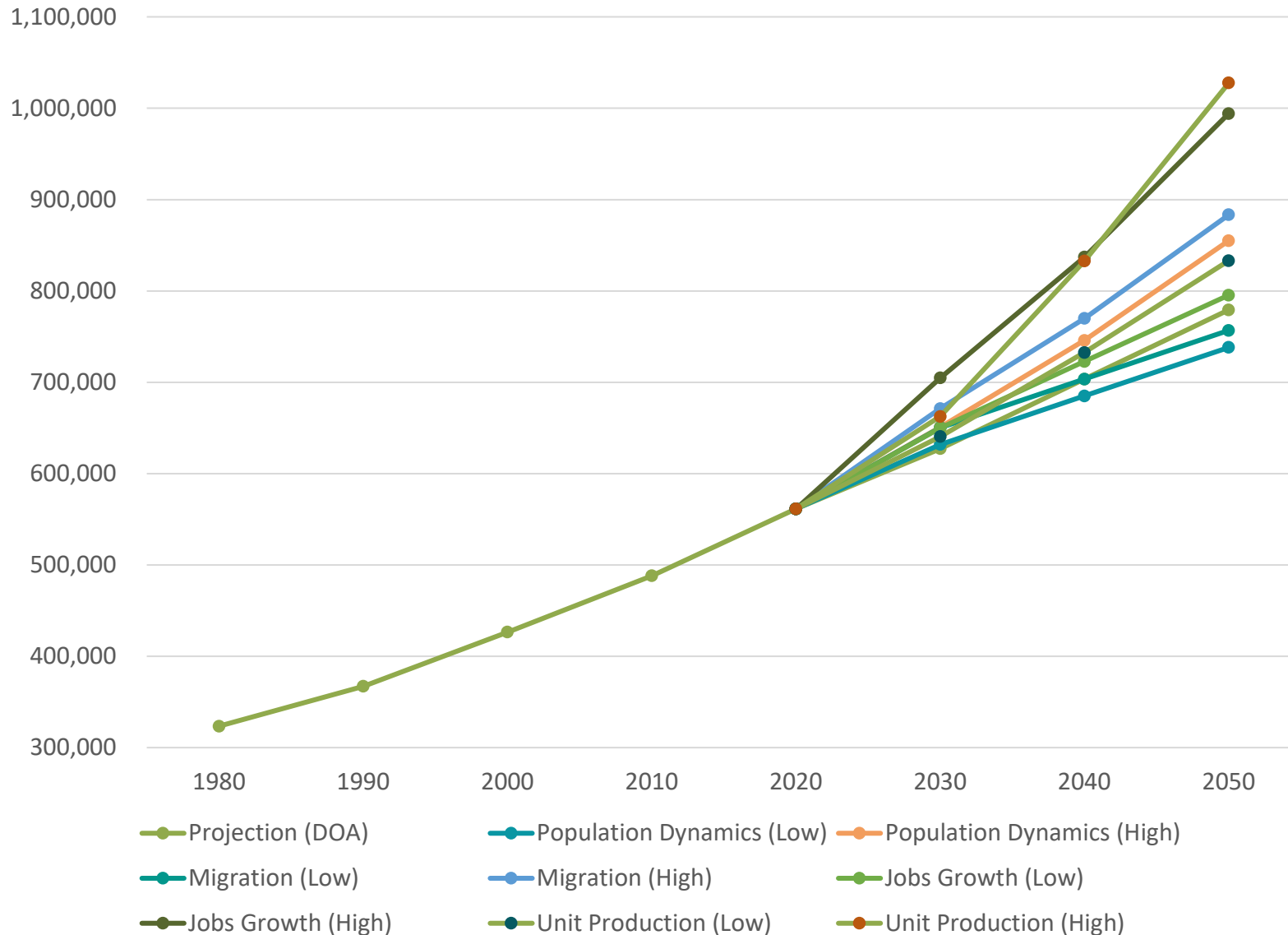
Numeric
Addition?



“Line of Best Fit”



Validating Our Assumption

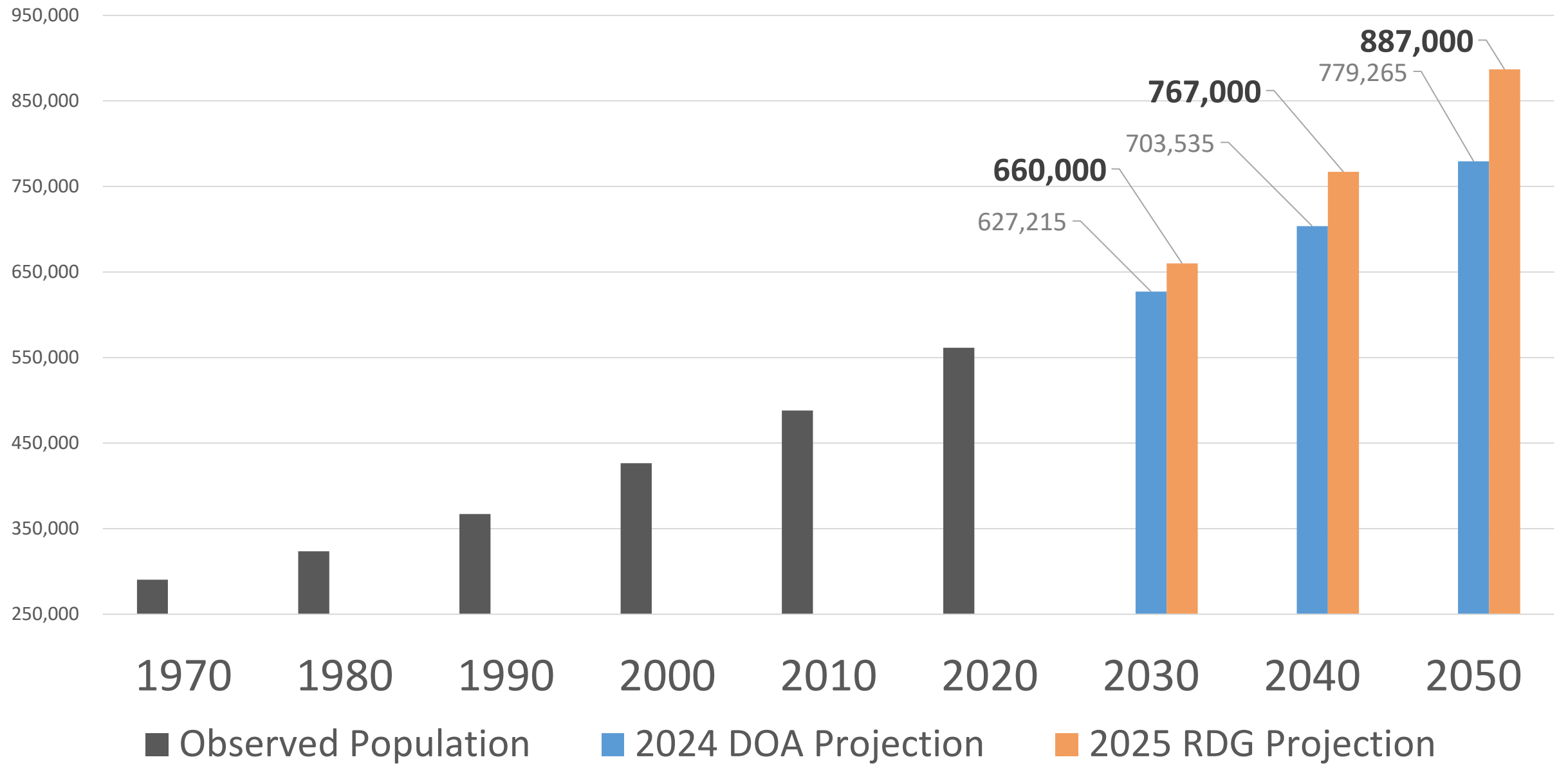


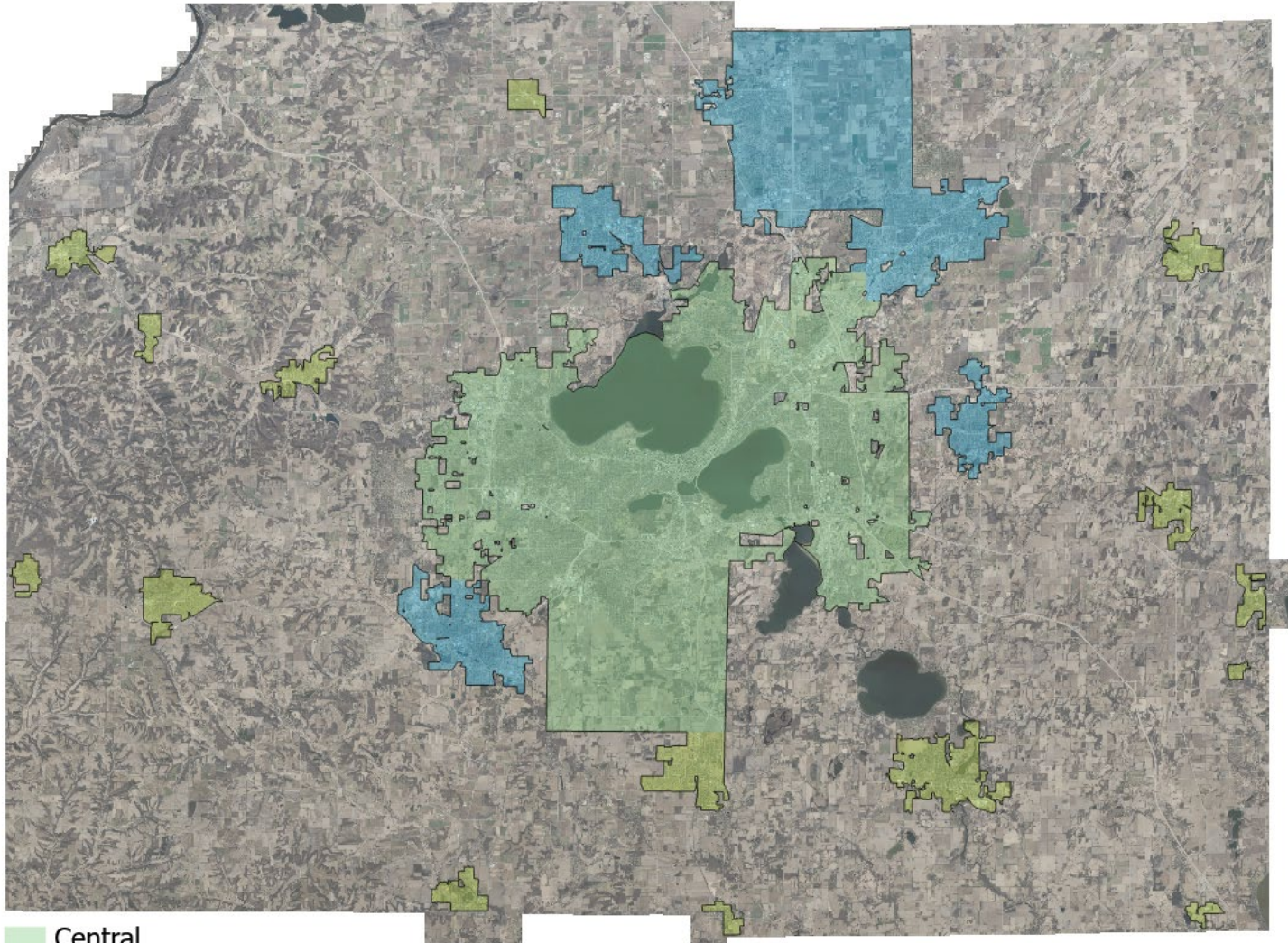
What if...

- Natural Population Increase
- Net Migration
- Unit Production
- Job Growth

...was the primary
driver of population
change?

DOA vs. RDG Projections





- Central
- First Ring
- Outlying

Dane County Land Information Office (LIO), Fly Dane Partnership, Ayres Associates, Wisconsin Regional Orthoimagery Consortium (WROC)

Central:

Fitchburg
Madison
Maple Bluff
McFarland
Middleton
Monona
Shorewood Hills

First Ring:

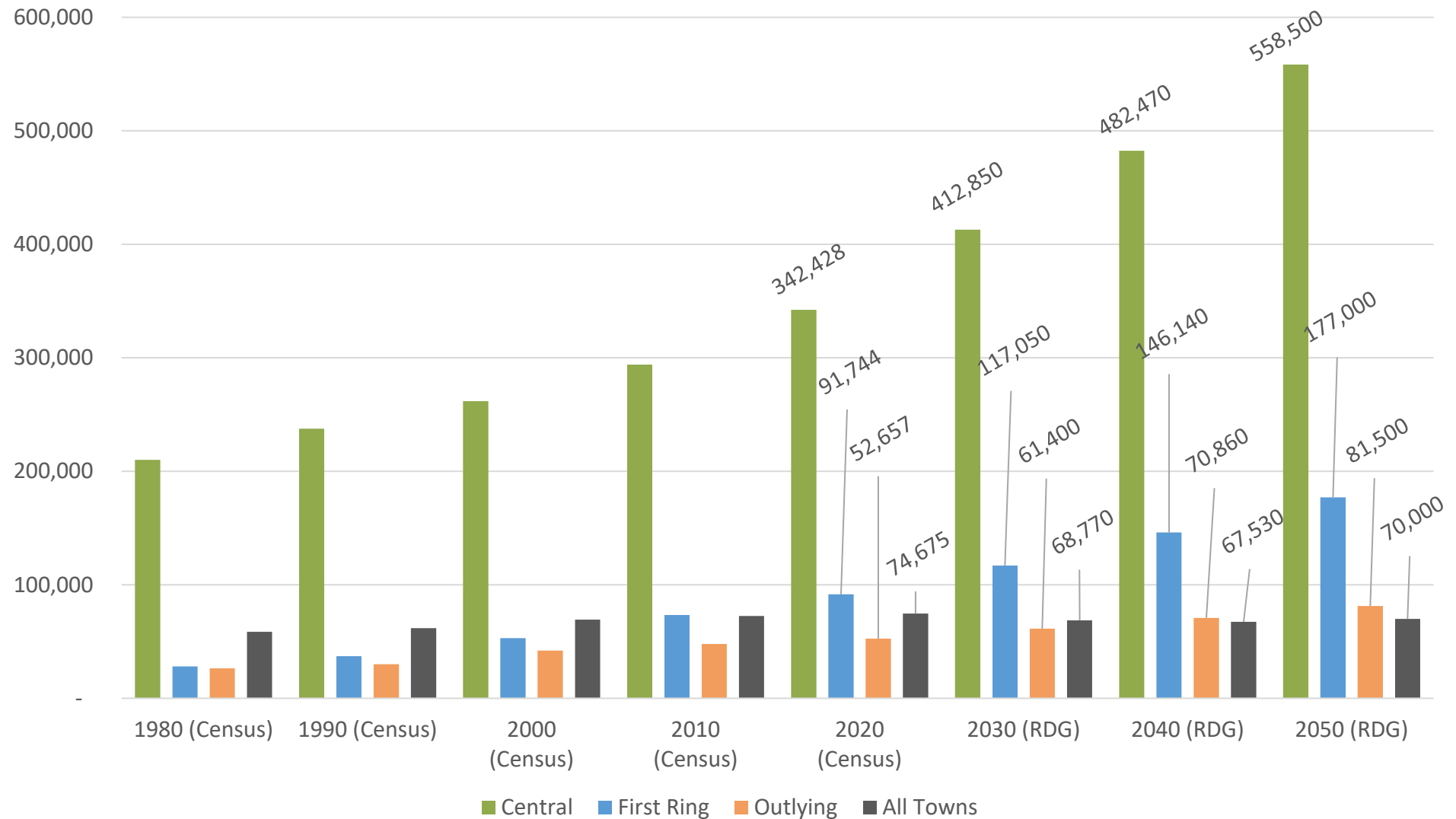
Cottage Grove
De Forest
Sun Prairie
Verona
Waunakee
Windsor

Outlying:

Belleville*
Black Earth
Blue Mounds
Brooklyn*
Cambridge*
Cross Plains
Dane
Deerfield
Edgerton*
Marshall
Mazomanie
Mount Horeb
Oregon
Rockdale
Stoughton

RDG PROJECTIONS BY LOCATION

Where's All the Development?



RDG PROJECTIONS BY LOCATION

Central

Community	2000 (Census)	2010 (Census)	2020 (Census)	2030 (RDG)	2040 (RDG)	2050 (RDG)	2050 (DOA)
<i>Fitchburg</i>	<i>20,501</i>	<i>25,260</i>	<i>29,609</i>	<i>37,430</i>	<i>44,530</i>	<i>52,500</i>	<i>52,245</i>
<i>Madison</i>	<i>208,054</i>	<i>233,209</i>	<i>269,840</i>	<i>324,580</i>	<i>378,520</i>	<i>437,000</i>	<i>371,138</i>
Maple Bluff	1,358	1,313	1,368	1,480	1,610	1,750	1,648
McFarland	6,416	7,808	8,991	11,410	14,050	17,000	13,713
Middleton	15,770	17,442	21,827	26,420	31,410	37,000	35,295
Monona	8,018	7,533	8,624	9,190	9,810	10,500	10,240
Shorewood Hills	1,732	1,565	2,169	2,340	2,540	2,750	2,557
Central	261,849	294,130	342,428	412,850	482,470	558,500	486,836

RDG PROJECTIONS BY LOCATION

First Ring

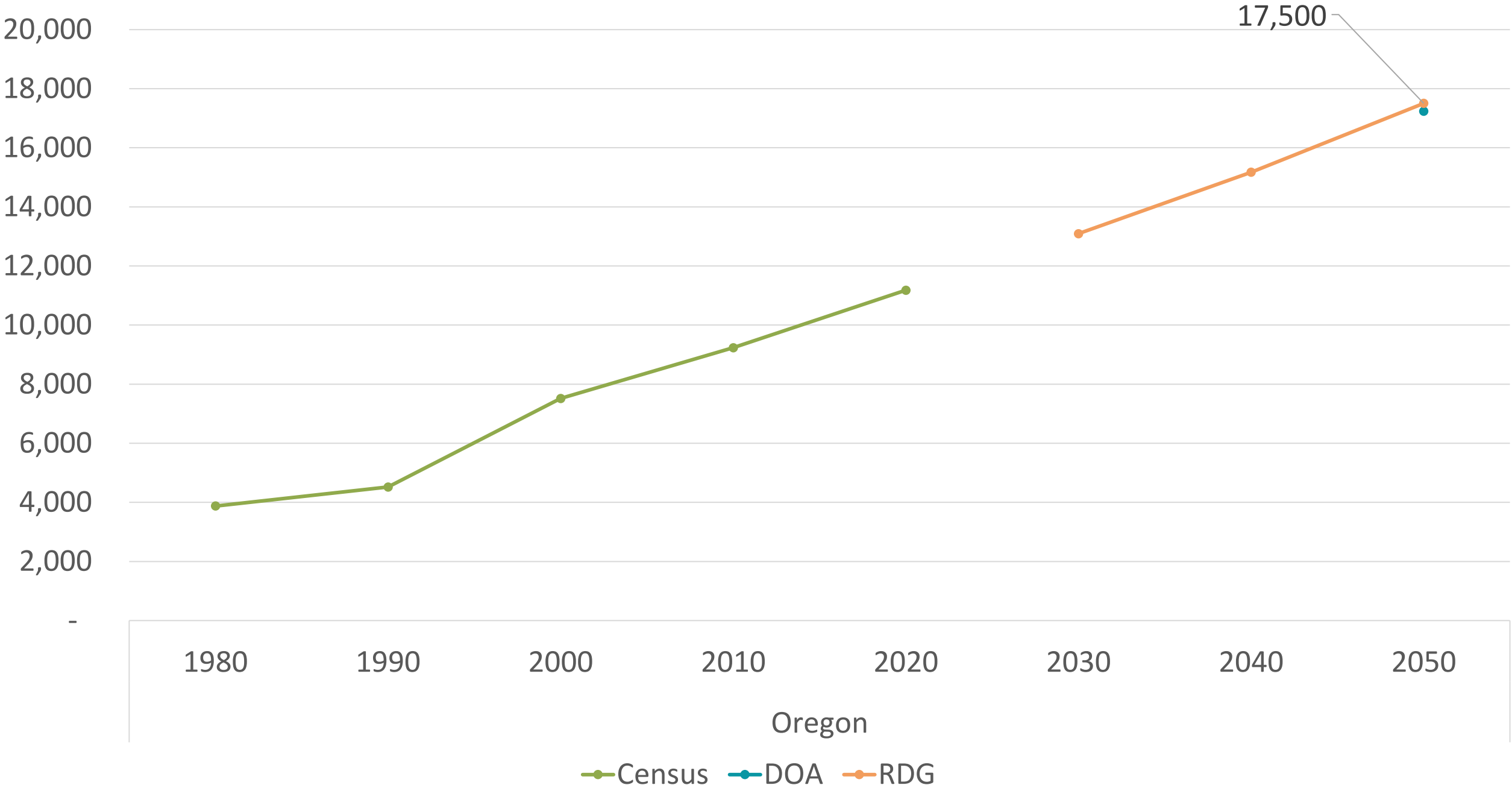
Community	2000 (Census)	2010 (Census)	2020 (Census)	2030 (RDG)	2040 (RDG)	2050 (RDG)	2050 (DOA)
Cottage Grove	4,059	6,192	7,303	11,150	15,320	20,000	19,833
De Forest	7,368	8,936	10,811	12,820	15,050	17,500	17,442
Sun Prairie	20,369	29,364	35,967	44,270	54,850	65,000	55,644
Verona	7,052	10,619	14,030	18,860	24,110	30,000	26,194
Waunakee	8,995	12,097	14,879	18,400	22,220	26,500	24,833
Windsor ⁱ	5,286	6,345	8,754	11,550	14,590	18,000	16,983
First Ring	53,129	73,553	91,744	117,050	146,140	177,000	160,929

RDG PROJECTIONS BY LOCATION

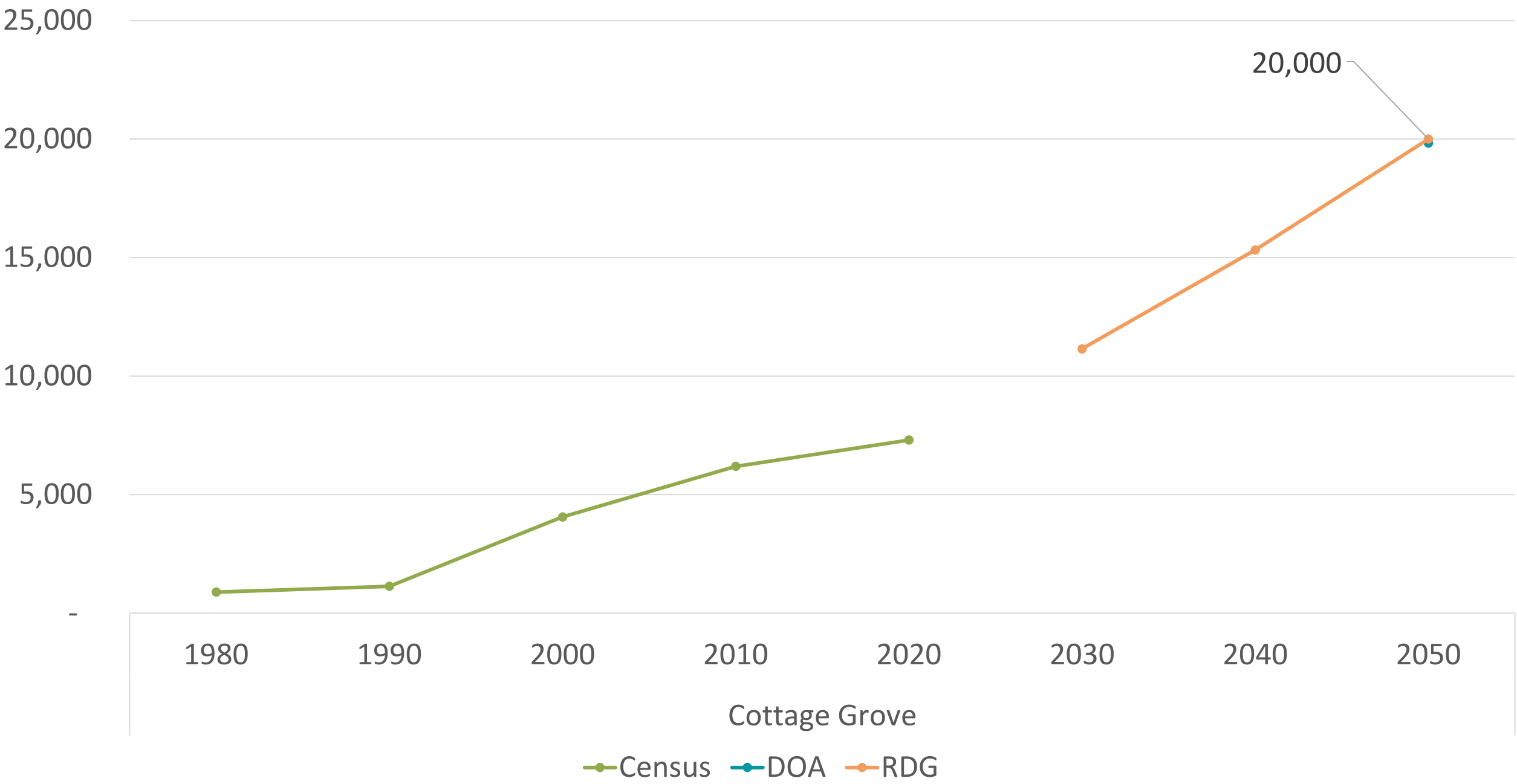
Outlying

Community	2000 (Census)	2010 (Census)	2020 (Census)	2030 (RDG)	2040 (RDG)	2050 (RDG)	2050 (DOA)
Belleville*	1,795	1,848	1,909	2,240	2,600	3,000	3,356
Black Earth	1,320	1,338	1,493	1,650	1,810	2,000	1,942
Blue Mounds	708	855	948	1,120	1,300	1,500	966
Brooklyn*	502	936	1,026	1,320	1,640	2,000	1,183
Cambridge*	1,014	1,348	1,539	1,980	2,460	3,000	2,092
Cross Plains	3,084	3,538	4,104	4,830	5,620	6,500	4,699
Dane	799	995	1,117	1,380	1,670	2,000	1,173
Deerfield	1,971	2,319	2,507	2,960	3,450	4,000	2,903
Edgerton*	42	97	146	180	210	250	196
Marshall	3,432	3,862	3,787	4,310	4,870	5,500	4,122
Mazomanie	1,485	1,652	1,768	1,990	2,230	2,500	1,964
Mount Horeb	5,860	7,009	7,754	9,040	10,430	12,000	8,934
Oregon	7,514	9,231	11,179	13,090	15,170	17,500	17,235
Rockdale	214	214	207	220	230	250	179
Stoughton	12,354	12,611	13,173	15,090	17,170	19,500	12,870
Outlying	42,094	47,853	52,657	61,400	70,860	81,500	63,814

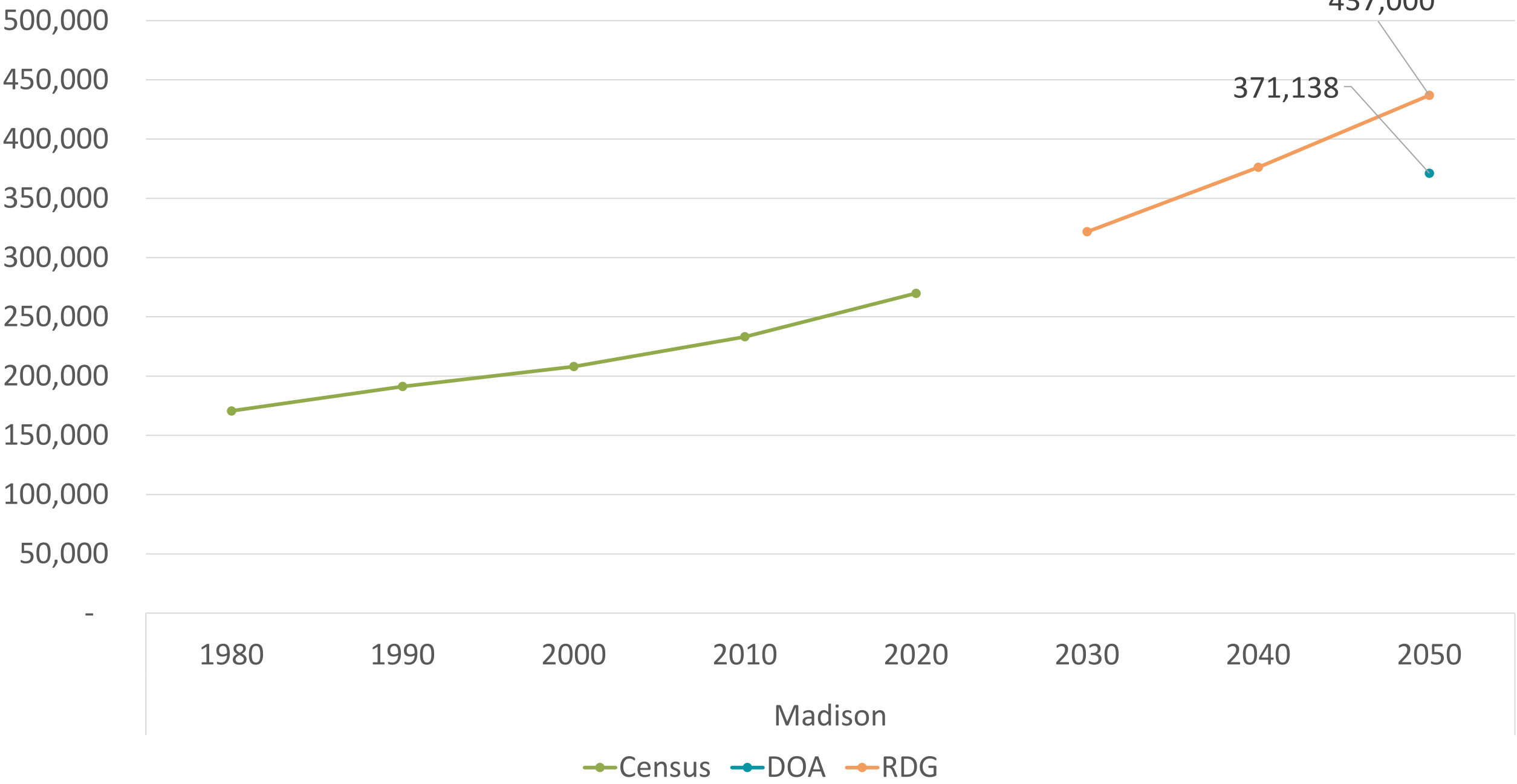
Population



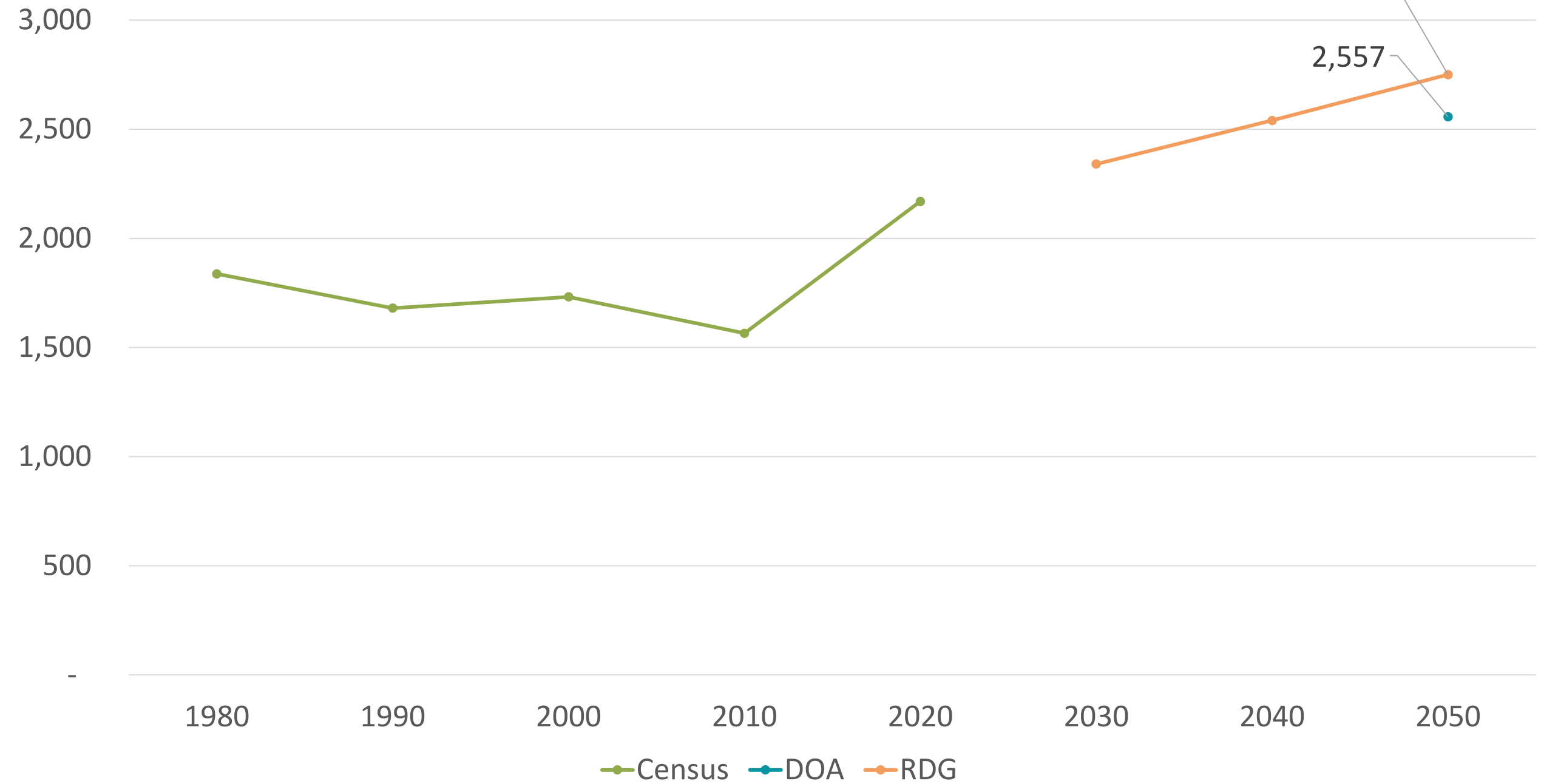
Population



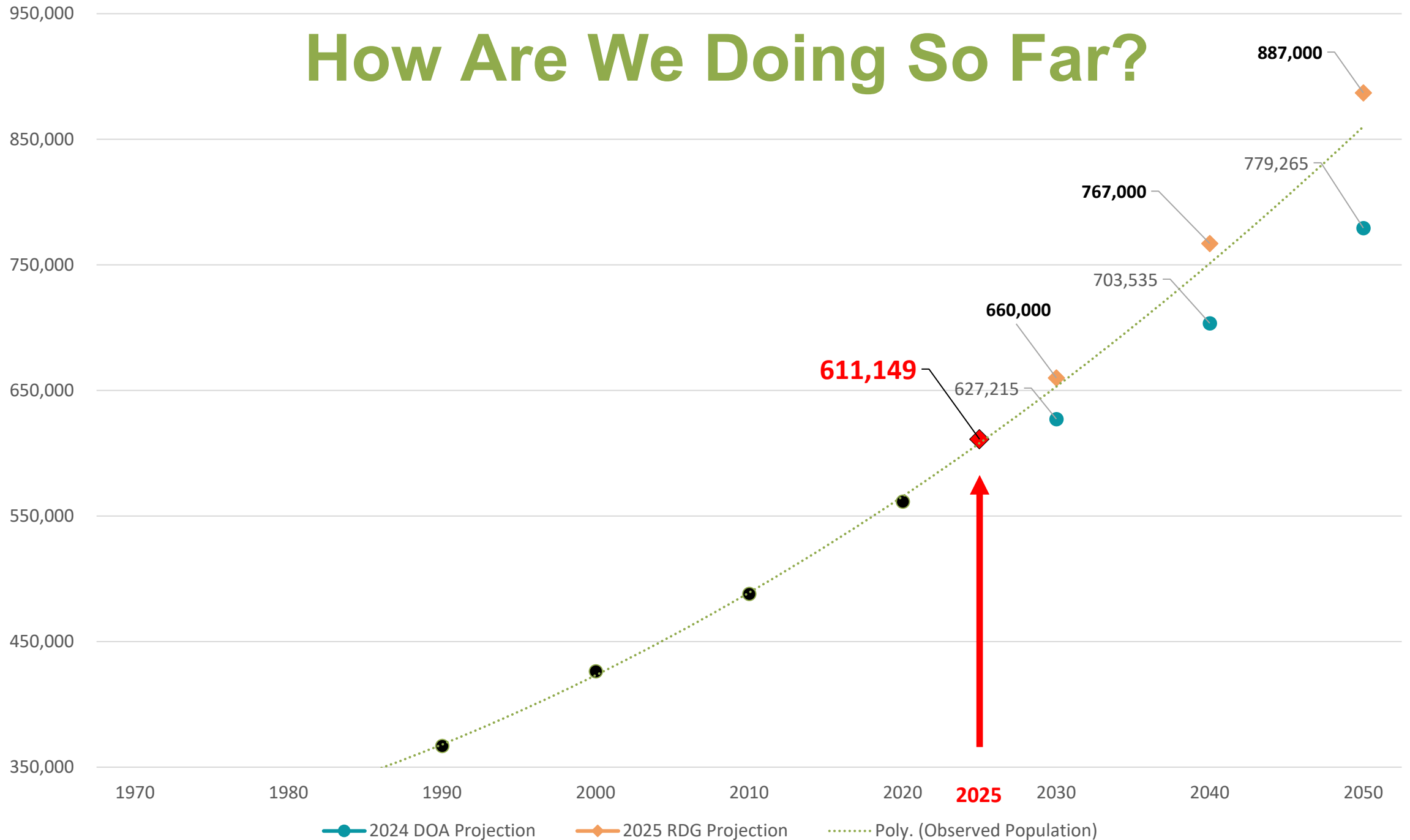
Population



Shorewood Hills



How Are We Doing So Far?



What Might Influence the Projections' Accuracy?

Migration

Household
Size

Commuting

Jobs



Thank You!

